

**TOWNSHIP OF PLAINFIELD
COUNTY OF NORTHAMPTON
COMMONWEALTH OF PENNSYLVANIA**

ORDINANCE NO. 426

AN ORDINANCE OF THE PLAINFIELD TOWNSHIP BOARD OF SUPERVISORS AMENDING THE PLAINFIELD TOWNSHIP ZONING MAP, BY CHANGING THE ZONING CLASSIFICATION OF CERTAIN LANDS SITUATE IN PLAINFIELD TOWNSHIP, NORTHAMPTON COUNTY, PENNSYLVANIA, AS SPECIFICALLY DESCRIBED BELOW, FROM FARM AND FOREST (FF) DISTRICT TO SOLID WASTE PROCESSING AND DISPOSAL DISTRICT (SW) DISTRICT, SAID AREA TO BE REZONED IS APPROXIMATELY 212 ACRES AND IS LOCATED IN AN AREA GENERALLY BOUNDED BY PEN ARGYL ROAD (S.R. 1011) TO THE WEST, BOCCE CLUB ROAD (T-666) TO THE NORTH, AN OLD RAILWAY BED TO THE EAST (PARCEL E09-19-001A), AND DELABOLE ROAD (S.R. 1016) TO THE SOUTH.

BE IT ENACTED AND ORDAINED and it is ENACTED AND ORDAINED by the Board of Supervisors of Plainfield Township, as follows:

SECTION 1: The zoning classification of the properties described and listed below, and depicted in Exhibit "A" attached hereto, is hereby changed from Farm and Forest (FF) Zoning District to Solid Waste Processing and Disposal District (SW) Zoning District. The official Plainfield Township Zoning Map, adopted February 9, 2000, last revised December 4, 2007, shall be amended to reflect this change. The approximately 212 acres of land being reclassified and rezoned as Solid Waste Processing and Disposal (SW) Zoning District consists of the following eighteen (18) parcels, owned by Slate Spring Farms LLC, 131 Cross Creek Ct., Bethlehem, PA 18017-3787, which are described by size and identified by Northampton County Tax Parcel Number:

1. 1.50 acre parcel, E8 13 1 0626
2. 9.95 acre parcel, E8 13 2 0626
3. 0.39 acre parcel, E8 13 3 0626
4. 2.00 acre parcel, E8 13 4 0626
5. 5.40 acre parcel, E8 13 5 0626
6. 1.00 acre parcel, E8 13 6 0626
7. 16 acre parcel, E8 13 7 0626

8. 0.7 acre parcel, E8 13 8 0626
9. 62.59 acre parcel, E8 13 10 0626
10. 0.35 acre parcel, E8 13 11 0626
11. 0.35 acre parcel, E8 13 12 0626
12. 0.35 acre parcel, E8 13 13 0626
13. 72.48 acre parcel, E8 13 14 0626
14. 19.55 acre parcel, E8 13 14A 0626
15. 0.69 acre parcel, E8 13 15 0626
16. 17.00 acre parcel, E8 13 16 0626
17. 1.35 acre parcel, E8 13 16A 0626
18. 1.00 acre parcel, E8 13 17 0626

The properties identified in numbers 1 through 18 above are generally bounded by Pen Argyl Road (S.R. 1011) to the west, Bocce Club Road (T-666) to the north, an old railway bed to the east (Parcel E09-19-001A), and Delabole Road (S.R. 1016) to the south.

SECTION 2: A true and correct copy of the Plainfield Township Zoning Map depicting the new district as reclassified and rezoned by this ordinance is attached hereto and made a part hereof as Exhibit “B”.

SECTION 2: SEVERABILITY. The provisions of this Ordinance shall be severable, and if any provision hereof shall be declared unconstitutional, illegal or invalid, such decision shall not affect the validity of any of the remaining provisions of this Ordinance. It is hereby declared as a legislative intent of the Township that this Ordinance would have been amended as if such unconstitutional, illegal or invalid provision or provisions had not been included herein.

SECTION 3: REPEALER. All Ordinances or parts of Ordinances conflicting or inconsistent with the provisions of this Ordinance hereby adopted are hereby repealed.

SECTION 4: This Ordinance shall take effect five (5) days after its enactment.

ENACTED AND ORDAINED, into law by the Township of Plainfield, Northampton
County, Pennsylvania, this ____ day of _____, 2025.

ATTEST:

PLAINFIELD TOWNSHIP BOARD OF
SUPERVISORS

Paige Stefanelli, Township Manager

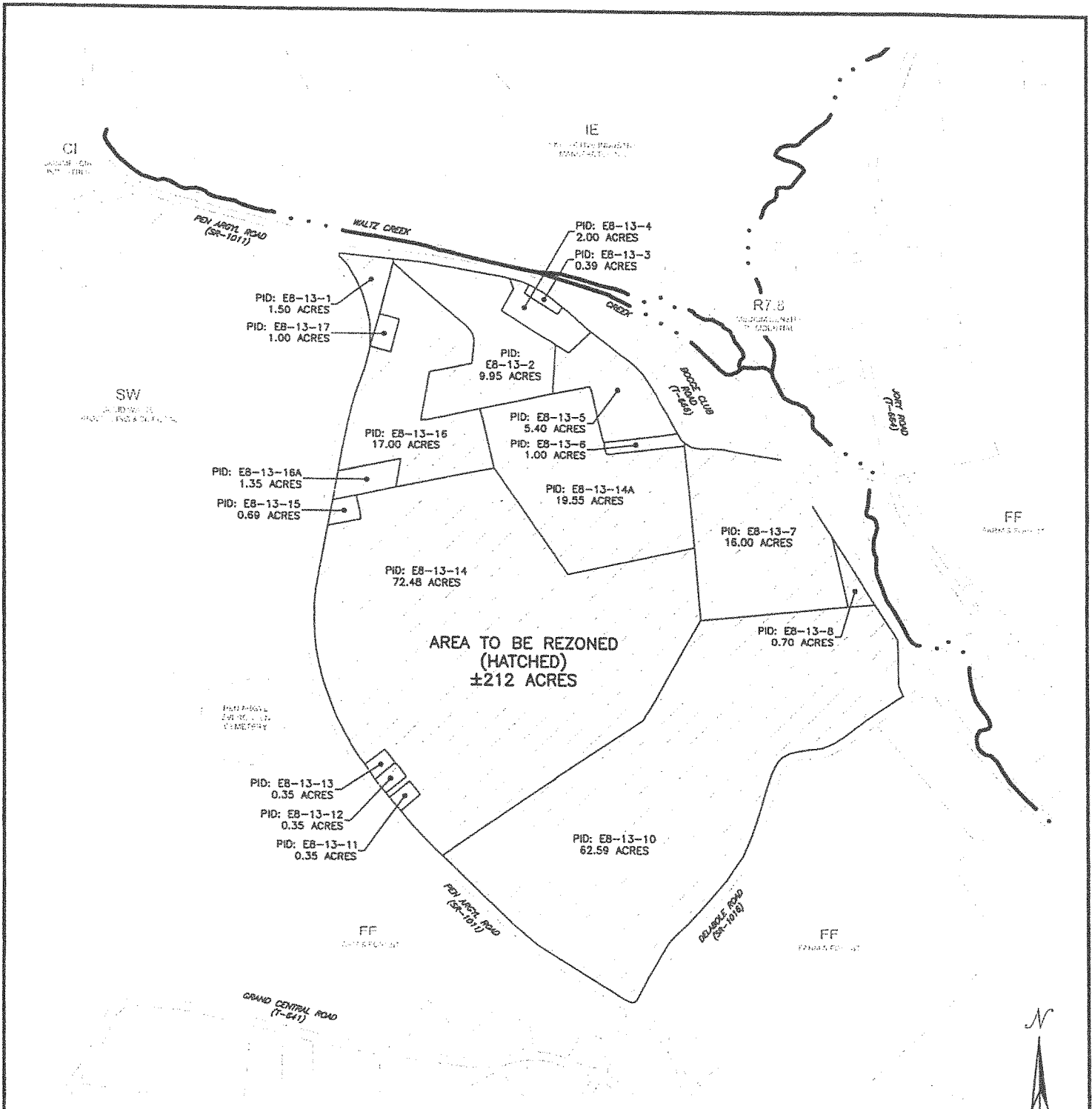
By: _____
Kenneth Field, Chairman

By _____
Glenn Borger, Vice Chairman

By: _____
Ken Fairchild

By: _____
Nolan Kemmerer

By: _____
Jonathan Itterly



AREA TO BE REZONED
(HATCHED)
±212 ACRES

NOTE:
THIS PLAN INFORMATION REFERENCES
"EXHIBIT A REZONING AREA" PLAN
PROVIDED BY EARTHRES, DATED
4/22/2025. PARCEL BOUNDARIES
REFERENCED FROM COUNTY GIS
RESOURCES AND SUBJECT TO CHANGE
PENDING REVIEW OF BOUNDARY SURVEYS.

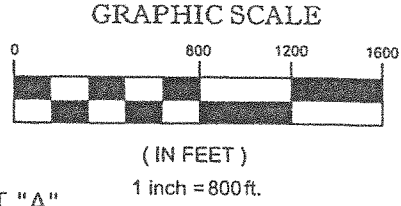

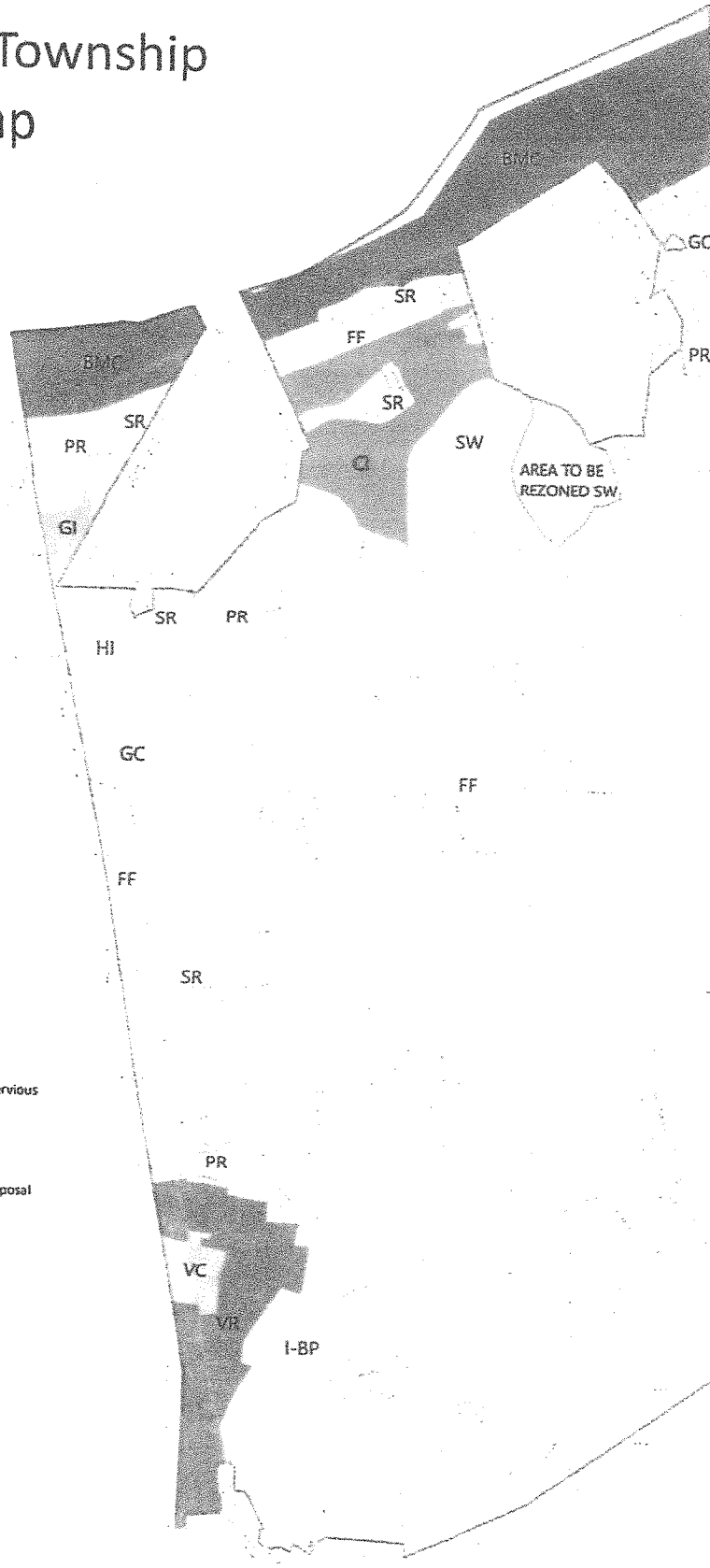


EXHIBIT "A"

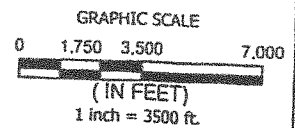
 <p>KEYSTONE CONSULTING ENGINEERS, INC. Engineering firm of choice since 1972 2870 EMRICK BOULEVARD, BETHLEHEM, PA 18020 610-865-4555 East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville www.KCEINC.com</p>	<p>EASTERN EXPANSION ZONING</p>	<p>DWG. NO. PT-25-001</p>
	<p>GRAND CENTRAL SANITARY LANDFILL</p> <p>1963 PEN ARGYL ROAD PEN ARGYL, PA 18072</p>	<p>SCALE: 1" = 800'</p> <p>DWN. BY: ANH</p> <p>DATE: 6/10/2025</p>
	<p>PLAINFIELD TOWNSHIP, NORTHAMPTON COUNTY, PENNSYLVANIA</p>	<p>REVISED:</p> <p>SHEET: 1 OF 1</p>

Plainfield Township Zoning Map



Legend

- Steep Slopes
- Parcels
- Municipal Boundary
- Zoning Districts**
- FF Farm and Forest
- SR Suburban Residential
- PR Planned Residential
- VR Village Residential
- HI Highway Interchange
- GC General/Commercial
- GC-SO General Commercial 50% Impervious
- CI Commercial/Industrial
- I-BP Industrial/Business Park
- GI General Industrial
- SW Solid Waste Processing and Disposal
- BMC Blue Mountain Conservation
- VC Village Center



DATE	REVISION

EXHIBIT "B"
PLAINFIELD TOWNSHIP
ZONING MAP
PLAINFIELD TOWNSHIP
NORTHAMPTON COUNTY, PENNSYLVANIA



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